



**City of Azle
Regular Agenda
Zoning Board of Adjustment**

505 W. Main Street
Azle, Texas 76020

September 12, 2023

6:00 PM

Council Chambers

REGULAR SESSION

CALL TO ORDER

INVOCATION

PLEDGE OF ALLEGIANCE

PUBLIC PARTICIPATION

This is an opportunity for the public to address the Zoning Board of Adjustment on posted agenda items or non-agenda items. In order to address the Board, please complete a Speaker's Request Form and submit to the Secretary prior to the start of the meeting. All comments must be directed to the Presiding Officer, rather than an individual board member or city staff. All speakers must refrain from personal attacks toward any individual. Comments are limited to three (3) minutes and must pertain to the subject matter listed on the Speaker's Request Form. Speakers requiring the assistance of a translator shall be provided four (4) minutes. The Board may not comment publicly on non-agenda items, but may direct the staff to resolve the matter or request the matter be placed on a future agenda. Public comments regarding non-agenda items shall not include any "deliberation" as defined by Chapter 551 of the Government Code, as now or hereafter amended. If you have a subject that may require Board action, you may obtain a form from the Secretary and request the item be placed on a future agenda.

CONSENT AGENDA

1. Consider approval of the minutes of the Regular Meeting held on August 7, 2023.

PUBLIC HEARING

2. Conduct a public hearing and consider a variance request to Section 5.3, Development Regulations, Setback Requirements of the City of Azle Zoning Ordinance for the property located at 309 N. Broadway Road, and also known as Lot 8, Westlake Point Addition, an addition to the City of Azle, Tarrant County, Texas. The purpose of the variance is to allow for the construction of a new outdoor kitchen patio cover to encroach the minimum fifteen-foot (15') side yard setback.

David Hawkins, Director of Planning and Development

DISCUSSION ITEMS

ADJOURNMENT

I, the undersigned authority, do hereby certify the above Agenda was posted at City Hall on September 8, 2023, at the City's official bulletin board and is readily accessible to the public at all times in accordance with V.T.C.A. Chapter 551, Texas Government Code.

Malinda Nowell

This facility is wheelchair accessible and handicapped parking spaces are available. Auxiliary aids and services are available to a person when necessary to afford an equal opportunity to participate in city functions and activities. Auxiliary aids and services or accommodations should be requested forty-eight hours prior to the scheduled starting time by calling the City Secretary's Office at 817-444-7101. Complete Zoning Board of Adjustment agenda packet is available for review at the City Secretary's Office and on our website www.cityofazle.org.



MINUTES
Regular
Azle Zoning Board of Adjustment

505 W. Main Street
Azle, Texas 76020

August 7, 2023

6:00 PM

Council Chambers

REGULAR SESSION

CALL TO ORDER

Chairman Pennie Nichols called the meeting to order at 6:03 PM.

Members Present:

Chairman Pennie Nichols
Vice Chairman Leonard Wheeler
Board Member Rob Schocke
Board Member Jim Carlson

Members Absent:

Board Member Jared Arneson

Staff Present:

David Hawkins Director of Planning and Development
Malinda Nowell Sr. Administrative Assistant

INVOCATION

Chairman Pennie Nichols gave the invocation.

PLEDGE OF ALLEGIANCE

Board Member Jim Carlson led the pledge.

PUBLIC PARTICIPATION

None

CONSENT AGENDA

1. Consider approval of the minutes of the Regular Meeting held May 25, 2023.

Vice Chairman Leonard Wheeler made a motion to approve the minutes of the Regular Meeting held May 25, 2023 as presented. Board Member Rob Schocke seconded the motion. Motion carried.

Yes: (4) Jim Carlson, Leonard Wheeler, Rob Schocke, Pennie Nichols

No: (0) None

Absent: (1) Jared Arneson

PUBLIC HEARING

2. **Conduct a public hearing to consider a variance request to Section 10.3 Development Regulations, Setback Requirements of the City of Azle Zoning Ordinance for the property located at 744 Oak Park Drive, and also known as Lot 14, Block 18, Lake Crest Park, Phase VI, an addition to the City of Azle, Tarrant County, Texas. The purpose of the variance is to allow for the construction of a new carport to encroach the minimum twenty-five-foot (25') front yard setback and the minimum six-foot (6') side yard setback.**

Director of Planning and Development David Hawkins presented this item. Mr. Hawkins stated that the request is for a variance to the side yard and front yard setbacks. The carport will be approximately eight feet off of the front property line; it will encroach 17 feet into the front setback line. The carport will encroach into the side yard up to 10 inches from the side property line. The applicant included three letters of support. Letters were mailed to the 200' radius; one letter of opposition was received and two letters of support were received.

Chairman Pennie Nichols opened the public hearing at 6:14 p.m.

- Alexis Elliston spoke on behalf of her uncle, Steve Prine, applicant, who is working night shift.

As there were no other speakers, Chairman Nichols closed the hearing at 6:15 p.m.

Board Member Rob Schocke made a motion to deny the variance request to Section 10.3 Development Regulations, Setback Requirements of the City of Azle Zoning Ordinance for the property located at 744 Oak Park Drive, and also known as Lot 14, Block 18, Lake Crest Park, Phase VI, an addition to the City of Azle, Tarrant County, Texas. Board Member Jim Carlson seconded the motion. Motion carried.

Yes: (3) Jim Carlson, Leonard Wheeler, Rob Schocke
No: (1) Pennie Nichols
Absent: (1) Jared Arneson

ADJOURNMENT

Chairman Nichols adjourned the meeting at 6:25 p.m.

Presented and approved on _____

Pennie Nichols, Chairman

Attest:

David Hawkins, AICP
Director of Planning and Development



Presenter: David Hawkins, Director of Planning and Development

Agenda Item: Conduct a public hearing and consider a variance request to Section 5.3, Development Regulations, Setback Requirements of the City of Azle Zoning Ordinance for the property located at 309 N. Broadway Road, and also known as Lot 8, Westlake Point Addition, an addition to the City of Azle, Tarrant County, Texas. The purpose of the variance is to allow for the construction of a new outdoor kitchen patio cover to encroach the minimum fifteen-foot (15') side yard setback.

Background and Explanation:

The owner of 309 N. Broadway Road is requesting the variance to Section 5.3 Setback Requirements of the City of Azle Zoning Ordinance. The request is to allow for the construction of a new outdoor kitchen patio cover on the back side of the house which would encroach the minimum fifteen-foot (15') side yard setback in the E-1 zoning district. The applicant has provided a site plan exhibit that shows the existing house and the proposed kitchen patio cover location that would be within the setback lines.

Existing Condition of Property:

This property is currently zoned E-1 and has a single-family residence that was constructed in 1983 according to Tarrant County Appraisal District records. The property was approved by the City and platted as part of the Westlake Point Addition back in 1981.

History of Project:

A building permit has been issued for a new swimming pool and outside kitchen area which is currently under construction. Both of these elements are in compliance with city ordinances and applicable building codes. The property owner is seeking to add a new patio cover structure that would extend from the rear of the house to cover the new outside kitchen area. The support columns for the new patio cover would need to be located a minimum of 15 feet from the side property line to comply with the building setback requirements but would not cover the outside kitchen area as intended.

The applicant is proposing a 14'-6" W x 30' L patio cover structure that would extend from the back corner of the house to cover a new kitchen area and encroach the side setback line. The new kitchen area is approximately seven feet eight inches (7'-8") from the side property line. The proposed patio cover would encroach the side setback line by seven feet four inches (7'-4"). The applicant has provided exhibits of the proposed patio cover as well as HOA approval which are included in the packet.

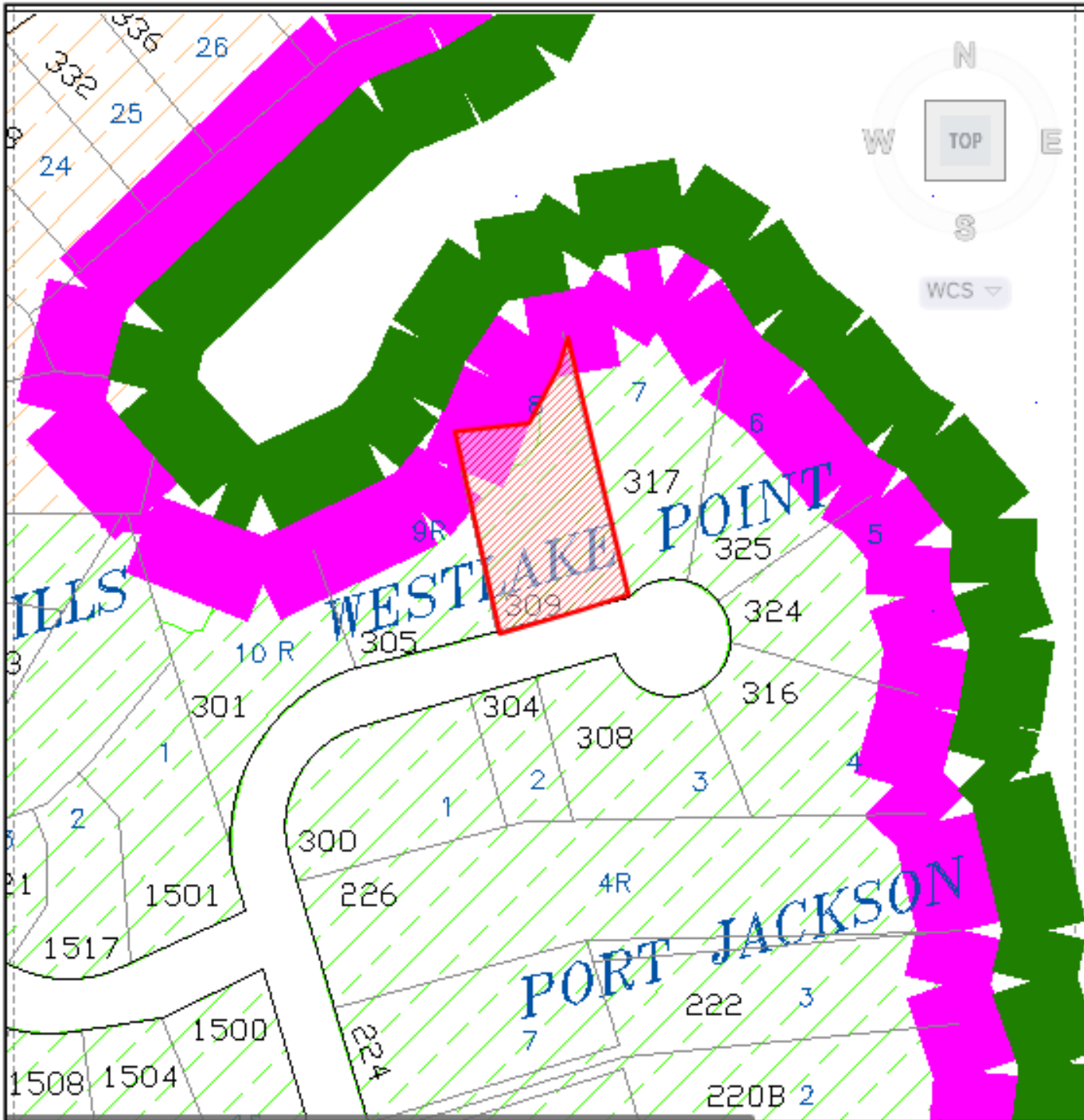
The E-1 requirements:

- Minimum Lot Area: 43,560 sq. ft. (1 acre)
- Minimum Lot Width: 200 ft.

- Minimum Front Yard: 210'
- Minimum Side Yard: 15'
- Minimum Rear Yard: 35'

Zoning Map of Property and Adjacent Properties:

The properties to the east, west and south are all located within the Westlake Point subdivision and zoned as E-1, same as the subject property. Eagle Mountain Lake borders the north side of the property.



Aerial of Property:



Criteria for Approving Variance:

When in its judgment, the public convenience and welfare will be substantially served and the appropriate use of the neighboring property will not be substantially or permanently injured, the Board may, in specific cases, after public notice and public hearing and subject to appropriate conditions and safeguards, take the following action:

1. The literal enforcement of the provisions of this ordinance would result in an unnecessary and/or unreasonable hardship. ***The existing house is approximately 38.8' from the east property line. The new kitchen area and pool is approximately seven feet eight inches (7'-8") from the east property line, which complies with the setback (min. 5') requirements for those elements. The property does have a 100-year floodplain within the property that does limit the placement of any new structures within the back area of the property.***

2. The special conditions are not the result of the applicant's actions, but are peculiar to the land, structure or building involved. ***The back area of the property does encroach into the FEMA 100-year floodplain which limits where the new patio cover can be located. Swimming pools and kitchen areas are allowed to be placed up to five feet (5') from the side and rear property lines, but the patio cover is limited by the fifteen-foot (15') side setback requirement. The patio cover does comply with the min. 35' rear setback line.***

3. The variance requested is the minimum necessary. ***The applicant is requesting to allow the patio cover to be constructed within the min. 15' side setback line up to 7'-8" from the side property line which would allow the structure to cover the entire outside kitchen area. The applicant has provided confirmation of approval from the Westlake Point HOA for the improvements in the backyard area including the patio structure.***

4. No special privilege is granted which is denied to other similarly situated uses. ***The property owner has included a site survey, proposed building plans, and confirmation of approval from the Westlake Point HOA. There does not appear to be any record of variances granted or applied in this area pertaining to structures located on the side of residences.***

New State Statute on ZBA Variance Criteria:

The State Legislation passed a new bill, H.B. 1475 which went into effect on September 1, 2021 that changes the Zoning Board of Adjustment authority related to variances and gives additional objective grounds for which a variance may be granted. Prior to this new State law, a ZBA is authorized to grant a variance if, among other things, enforcing the ordinance as written would result in "unnecessary hardship." An "unnecessary hardship" would be one that was not self-imposed, personal in nature, related to the property for which the variance is sought, and not a solely financial hardship. The hardship would need to be a condition unique, oppressive, and not common to other property.

Under the new State law, it adds more objective criteria which a ZBA can consider to determine whether compliance with a city's zoning ordinance as applied to a structure would result in an "unnecessary hardship". For the first time, purely financial considerations can qualify an applicant for a variance. Additionally, if the proposed structure would be considered a nonconforming structure, that could be grounds to grant a variance. Under the new law, there might be an unnecessary hardship if:

1. the cost of compliance with the zoning ordinance is greater than 50 percent of the appraised value of the structure as shown on the most recent certified appraisal roll; or
2. compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development may physically occur; or
3. compliance would result in the structure not in compliance with a requirement of another city ordinance, building code, or other requirement; or
4. compliance would result in the unreasonable encroachment on an adjacent property or easement; or
5. the city considers the structure to be a nonconforming structure.

Variance Change Request Notification Process:

Twelve (12) notices were sent to surrounding owners within 200 feet of the variance request. As of September 8, 2023, staff has received no responses from the public.

Board/Commission/Committee Recommendation:

1. Motion to approve Case #V2023-03
2. Motion to approve Case #V2023-03 with modifications
3. Motion to disapprove Case #V2023-03

Staff Recommendation:

City staff forwards this variance request to allow the side setback encroachment for the proposed outdoor kitchen patio cover.

Attachments:

1. 309 Broadway Rd Azle - Accessory Structure Variance Request
2. Lamb Pool HOA Approval

**CITY OF AZLE
APPLICATION FOR PLANNING AND DEVELOPMENT**

PLEASE PRINT AND COMPLETE EACH ITEM ON THIS FORM. FAILURE TO COMPLETE THE APPLICATION WILL DELAY THE PROCESS.

Date of Application:	8/9/23			
Property Location:	309 North Broadway, Azle, TX			
Subdivision:	Westlake Point	Block:		Lot: 8
Current Zoning/Use:	E-1, Estate One District	Requested Zoning/Use:	E-1, Estate One District	

Please check the appropriate box below. A metes and bounds description must be attached if the request is for a portion of a platted lot or the property is not platted.

<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Minor Plat	<input type="checkbox"/> Vacating a Plat
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Zoning Change	<input checked="" type="checkbox"/> Variance
<input type="checkbox"/> Re-plat	<input type="checkbox"/> Specific Use Permit	<input type="checkbox"/> Zoning Board of Adjustment
<input type="checkbox"/> Amending Plat		

If owner or applicant is a corporation or business, please list a contact name.

PROPERTY OWNER INFORMATION

Name:	Julie & Vernon Lamb	Cell Phone:	
Address:	309 N. Broadway	Work Phone:	
City/State/Zip:	Azle, Texas 76020	FAX Number:	
Phone:		Email:	
Contact Name:	Julie & Vernon Lamb	Owner Signature:	

APPLICANT/DEVELOPER INFORMATION

Name:	Selah Pools, LLC.	Cell Phone:	(713) 202-7606
Address:	500 Grapevine HWY	Work Phone:	
City/State/Zip:	Hurst, Texas 76054	FAX Number:	
Phone:	(817) 618-5731	Email:	mario.avila@selahpools.com
Contact Name:	Mario Avila	Applicant Signature:	

Submittal Requirements:

An application is considered complete if all required documents are submitted. Failure to submit the required documents will delay the approval process.

PRELIMINARY PLAT		MINOR AND AMENDING PLATS	
1. A completed application.		1. A completed application.	
2. An approved drainage plan.		2. Minor or Amending plat checklist.	
3. Nine (9) copies of the plat + 1 digital plat		3. 3 (3) copies of the plat for staff review.	
Note: Upon staff approval, an additional ten (10) copies will be required for the Planning and Zoning Commission meeting.		4. An original Tax Certificate.	
		Note: Upon staff approval, one (1) signed plat to be filed with the appropriate county office. Parker Co. requires a mylar.	
Re-plat and Final Plat		Zoning Changes or Variance	
1. A completed application.		1. A completed application.	
2. An original Tax Certificate.		2. Metes and bounds description of the property. (Zoning Change Only)	
3. Nine (9) copies of the plat + 1 digital plat		3. Lot boundary survey. (Zoning Change Only)	
Note: Upon staff approval, an additional ten (10) copies will be required for the Planning and Zoning Commission meeting.		4. Justification letter (optional).	
Note: Upon approval, one (1) signed plat to be filed with the appropriate county office. Parker Co. requires a mylar.		Note: Additional documentation may be needed once staff has reviewed the application	

FOR OFFICE USE ONLY

Case Number: _____ Fee Amount: _____ Receipt Number: _____
DRC Date: _____ P & Z Date: _____ Application Date: _____
Employee: _____



August 10th, 2023

David Hawkins, AICP
Director of Planning and Development, City of Azle
505 W. Main Street, Azle, TX 76020
Office: 817-444-7084 Fax: 817-444-7149
dhawkins@cityofazle.org

RE: Variance Request for Outdoor Kitchen Patio Cover for the Lamb family residence, at 309 N Broadway Rd. in the Westlake Point subdivision within the City of Azle, Texas.

To: The City of Azle Zoning Board of Adjustment (ZBA)

Dear Members of the Zoning Board of Adjustment,

I am writing on behalf of Julie & Vernon Lamb, the homeowners at 309 N Broadway Rd. in the Westlake Point subdivision in Azle, Texas. We seek a variance for the proposed outdoor kitchen patio cover to be constructed at the aforementioned property. We kindly request your consideration and approval of this variance based on the following reasons:

Reasons for Variance Request:

1. Unnecessary and/or Unreasonable Hardship:

The proposed patio cover is integral to the homeowner's vision for their outdoor space, which is meant to enhance their quality of life. The nature of the property's configuration makes it difficult to adhere strictly to the 15' setback rule without compromising the usability and aesthetics of the outdoor area. Enforcing the strict setback requirements would thus pose an unnecessary hardship on the homeowner, depriving them of the ability to enjoy their property fully.

2. Special Conditions Peculiar to the Land:

The unique layout and dimensions of the homeowner's property differ from other parcels in the same zoning district. This uniqueness is not a result of any actions taken by the applicant but is inherent to the land itself. As such, a rigid adherence to the setback requirement would unjustly penalize the homeowner due to circumstances beyond their control.

3. Minimum Variance Necessary:

The requested variance to allow a ~7' 8" setback is the minimum needed to achieve the desired outcome. The design has been meticulously crafted to ensure it remains within the homeowner's property lines and does not encroach upon neighboring properties.

4. No Special Privilege:

This request does not confer a special privilege upon our client. The variance sought is purely to permit the reasonable development of this parcel of land without granting any excessive advantage not available to others in similar situations.

Regarding the New ZBA Variance Criteria from September 1, 2021:

1. Cost of Compliance:

We've reviewed the project's financials, and the cost of adhering strictly to the zoning ordinance may exceed 50 percent of the appraised value of the structure, making it financially burdensome and counterintuitive.

2. Loss to Development Area:

Strict compliance would mean a substantial loss in terms of the area on which physical development can occur on the lot. The entire purpose of the outdoor kitchen patio cover would be compromised, causing a possible loss of more than 25% of the potential development area.

3. Compliance with Other City Requirements:

Shifting the structure to comply with the 15' setback might result in potential non-compliance with other city ordinances or building codes, thus creating a cascading effect of non-compliance issues.

4. No Encroachment on Adjacent Property:

The proposed design appears not to cause unreasonable encroachment on any adjacent property or easement.

5. Nonconforming Structure Consideration:

If the city deems the proposed structure as nonconforming due to the setback issue, this could be grounds to grant a variance as per the new law.

In conclusion, the outdoor kitchen patio cover is a thoughtful enhancement meant to provide homeowners a space to enjoy their outdoor environment without infringing upon neighboring properties or the community. We sincerely hope the ZBA will consider our request with empathy and foresight, understanding this parcel of land's unique challenges and the Lamb family's property improvement desires.

We thank you for your time and consideration and are open to any further discussions or clarifications that might be required.

Warm regards,

Selah Group LLC
d.b.a. Selah Pools
Lori Morris, President



Figure 1: Right Side Variance Location



Figure 2: Right Side Porch View



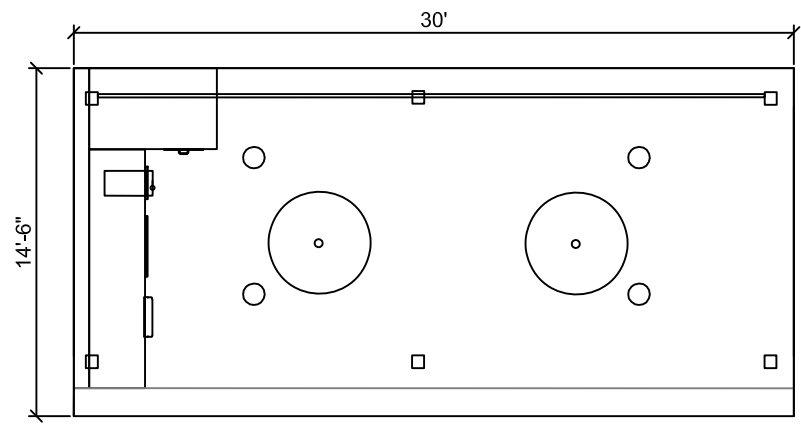
Figure 3: Proposed Outdoor Dining with Shade Structure



FREESTANDING CLASSICO PATIO ROOF




CLASSICO PATIO ROOF WITH DOLCE SEAMLESS SCREEN WALLS



0.1 Site Layout
 Scale: $\frac{1}{8}'' = 1'$

NOTE:
 THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY COMPLETE THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED COMPLETELY BY THE BUILDER OR PERSON IN AUTHORITY FOR THE JOB. ANY STRUCTURAL SUBSTITUTIONS TO BE APPROVED IN WRITING BY THE ENGINEER OF RECORD. ANY DISCREPANCY, ERRORS, AND/OR OMISSIONS, IF FOUND, IS TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE DESIGNER BEFORE ANY CONSTRUCTION, WORK, OR PURCHASES ARE MADE. ALL CODES, ORDINANCES AND REQUIREMENTS- FEDERAL, STATE, AND LOCAL-TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS WHICH MAY CONFLICT WITH THESE AGENCIES RULES AND/OR REGULATIONS AND MUST BE ADHERED TO BEFORE AND DURING CONSTRUCTION. CONTRACTORS TO VERIFY ALL DIMENSION AND CONDITIONS AT THE JOB SITE. THESE PLANS AND THEIR USE ARE THE PROPERTY OF SELAH POOLS LLC. AND ARE NOT TO BE REPRODUCED, USED FOR CONSTRUCTION, TRACED, ALTERED, COPIED OR REUSED WITHOUT THE WRITTEN PERMISSION FROM SELAH POOLS, LLC. LIMIT OF THE DESIGNERS LIABILITY ARE NOT TO EXCEED THE PRICE PAID FOR THE PLANS.

	SELAH POOLS LLC 500 Grapevine HWY Ste.118 Hurst, TX 76054 (817) 618-5731 info@selahpools.com		CLIENT: Lamb, Julie ADDRESS: 309 North Broadway. Azle, TX		LAYOUT PROJECT NAME: LAM2202 Rev2 3.31.23 DATE 4.6.23 DESCRIPTION: Classico		01 SHEET 1 OF 1	SIZE B
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0.1 Site Layout
Scale: 1" = 30'

LEGEND

EM	ELECTRIC METER
WV	WATER VALVE
WM	WATER METER
ICV	IRRIGATION CONTROL VALVE
GV	GAS VALVE
GM	GAS METER
SSMH	SANITARY SEWER MANHOLE
MH	MANHOLE
PP	POWER POLE
LS	LIGHT STANDARD
EB	ELEC BOX
TR	TELEPHONE RISER
WF	WIRE FENCE
WLF	WOOD FENCE
CLF	CHAIN LINK FENCE
IF	IRON FENCE
UG	UNDERGROUND
OHU	OVERHEAD UTILITY
FH	FIRE HYDRANT
ET	ELECTRIC TRANSFORMER
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
OSSF	ON SITE SEWER FACILITY
MH	MANHOLE
STSMH	STORM SEWER MANHOLE
BLDG	BUILDING W/ PERMANENT FOUNDATION
SHED	STRUCTURE WITH NO PERMANENT FOUNDATION
AC	AIR CONDITIONER
POSE	PUBLIC OPEN SPACE EASEMENT
IPF	IRON PIPE FOUND
IRF	IRON ROD FOUND
IRS	5/8" IRON ROD SET MARKED "A-WARD"
IRR	5/8" IRON ROD RECOVERED MARKED "A-WARD"
CM	CONTROL MONUMENT

BEARINGS OR DISTANCE SHOWN IN (") ARE PLAT OR DEED CALL

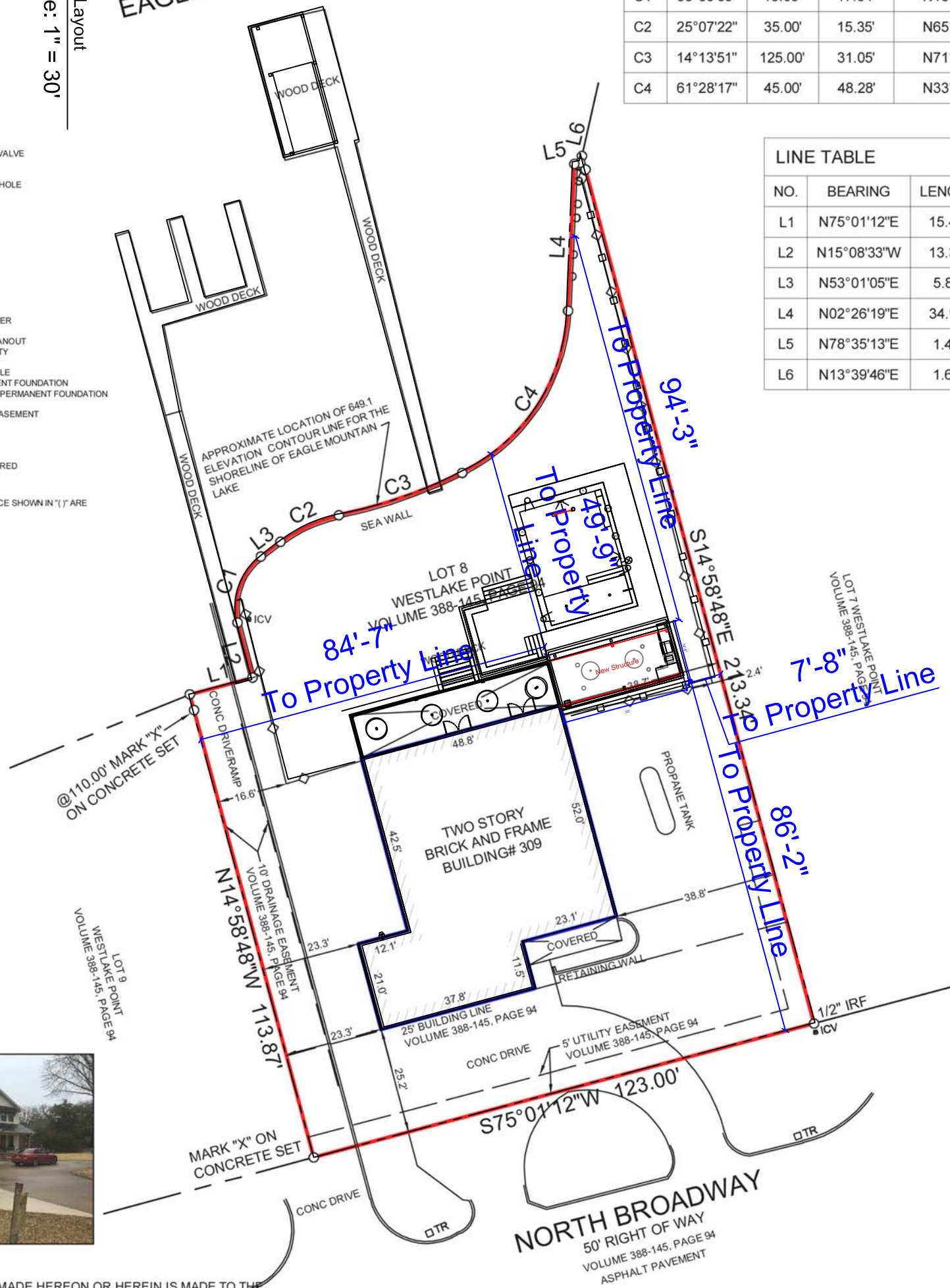
EAGLE MOUNTAIN LAKE

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING
C1	68°09'39"	15.00'	17.84'	N18°56'16"E
C2	25°07'22"	35.00'	15.35'	N65°34'46"E
C3	14°13'51"	125.00'	31.05'	N71°01'32"E
C4	61°28'17"	45.00'	48.28'	N33°10'27"E

LINE TABLE

NO.	BEARING	LENGTH
L1	N75°01'12"E	15.40'
L2	N15°08'33"W	13.31'
L3	N53°01'05"E	5.84'
L4	N02°26'19"E	34.92'
L5	N78°35'13"E	1.42'
L6	N13°39'46"E	1.65'



ANY DECLARATION MADE HEREON OR HEREIN IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

BEARINGS AND COORDINATES ARE BASED ON THE TEXAS COORDINATE SYSTEM OF THE NORTH AMERICAN DATUM OF 1983 (2011) EPOCH 2010, NORTH CENTRAL ZONE 4202 (US SURVEY FEET) FROM GPS OBSERVATIONS USING THE RTK COOPERATIVE NETWORK.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OR COMMITMENT. THERE MAY BE EASEMENTS OR OTHER MATTERS OF RECORDED THAT ARE NOT SHOWN HEREON. THE SURVEYOR HAS NOT ABSTRACT THIS PROPERTY.

The undersigned hereby states that this survey is true and correct, was made on the ground under my supervision and all corners are marked as shown, shows all visible and apparent easements, encroachments and protrusions. According to Map No. 48439C0020K dated September 25, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Tarrant County, Texas and Incorporated Areas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located in Zone AE and all within a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

This survey substantially complies with the current Texas Society of Professional Surveyors Standard and Specifications for a Category 1B, Condition II Survey. Surveyed on the ground January 20, 2021.

A-Ward Surveying

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

James Paul Ward
Registered Professional Land Surveyor, No. 5606

All rights reserved
Copyright 2020

If the seal is not embossed, this document is an unauthorized copy and should be presumed to contain alterations.

FLOOD LEGEND

- ZONE A** SPECIAL FLOOD HAZARD AREA SUBJECT TO INDUNDATION BY THE 1% ANNUAL FLOOD. NO BASE FLOOD ELEVATION DETERMINED
- ZONE AE** SPECIAL FLOOD HAZARD AREA SUBJECT TO INDUNDATION BY THE 1% ANNUAL FLOOD. BASE FLOOD ELEVATIONS DETERMINED
- ZONE X (SHADED)** AREA OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH AREAS LESS THAN 1 SQUARE FILE; AND AREAS PROTECTED BY FROM 1% ANNUAL CHANCE FLOOD.
- ZONE X** AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD

SURVEY ACCEPTED BY:

309 N BROADWAY, AZLE, TX 76020, U

LAND TITLE SURVEY
Lot 8 WESTLAKE POINT
an addition to the City of Azle, Tarrant County
according to the Plat thereof recorded in Volume
Page 94, of the Deed Records of Tarrant County



252 WEST MAIN STREET, SUITE F, AZLE TX 76020
817-33A-WARD (332-9273) 877-982-9273
survey@a-wardsurveying.com TBPELS Firm No. 1



GRAPHIC SCALE SCALE IN FEET 1" = 30'
A-WARD PROJECT NO: 2021-1030 NORTH BROADWAY



SELAH POOLS LLC
2892 Grand Dike
Fort Worth, TX 76118
(817) 618-5731
info@selahpools.com

CLIENT:
Lamb, Julie

DESCRIPTION:
Attached Patio

LAYOUT
PROJECT NAME: LAM2021 Rev2
DATE: 7.14.23
00 SHEET
1 OF 8
SIZE
B

NOTE:
THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY COMPLETE THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED COMPLETELY BY THE BUILDER OR PERSON IN AUTHORITY FOR THE JOB. ANY STRUCTURAL SUBSTITUTIONS TO BE APPROVED IN WRITING BY THE ENGINEER OF RECORD. ANY DISCREPANCY, ERRORS, AND/OR OMISSIONS, IF FOUND, IS TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE DESIGNER BEFORE ANY CONSTRUCTION WORK OR PURCHASES ARE MADE. ALL CODES, ORDINANCES AND REQUIREMENTS, FEDERAL, STATE AND LOCAL TAKE PRECEDENCE OVER ANY PART OF THESE DRAWINGS WHICH MAY CONFLICT WITH THESE AGENCIES RULES AND/OR REGULATIONS AND MUST BE ADHERED TO BEFORE AND DURING CONSTRUCTION. CONTRACTORS TO VERIFY ALL DIMENSION AND CONDITIONS AT THE JOB SITE. THESE PLANS AND THEIR USE ARE THE PROPERTY OF SELAH POOLS LLC, AND ARE NOT TO BE REPRODUCED, USED FOR CONSTRUCTION, TRACED, ALTERED, COPIED OR REUSED WITHOUT THE WRITTEN PERMISSION FROM SELAH POOLS, LLC. LIMIT OF THE DESIGNERS LIABILITY ARE NOT TO EXCEED THE PRICE PAID FOR THE PLANS.

DESIGN CRITERIA:

APPLICABLE CODES, REGULATIONS & STANDARDS

- APPLICABLE CODES, REGULATIONS & STANDARDS:
 1. THE 2018 INTERNATIONAL BUILDING CODE
 2. ASCE 7-10. & SEI-7 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 3. NDS NATIONAL DESIGN SPECIFICATION FOR WOOD
 4. ACI318 CONCRETE REFERENCE MANUAL
 5. PCI PRECAST & PRESTRESSED CONCRETE
 6. AA ASM 35 & AA ADM 1
 7. NFPA 70 @ 2017 NATIONAL ELECTRICAL CODE (NEC 2017) @ WIND LOADS

1. IBC 2018 SECTION 1604.5 RISK CATEGORY, & TABLE 1604.5: RISK CATEGORY 1
 2. IBC 2018 SECTION 1609.3 BASIC WIND SPEED, & TABLE 1609.3(1),(2),(3) SUBJECT TO RISK CATEGORY, REGION, & PARAGRAPH 1609.3.1 & TABLE 1609.3.1 WINDSPEED CONVERSION (AS APPLICABLE)
 EQUIVALENT BASIC WIND SPEED (MPH) EQUALS: 110
 3. IBC 2018 SECTION 1609.4.3: EXPOSURE CATEGORY - D

FOUNDATION DESIGN

FOOTING SIZE EXISTING CONCRETE SLAB. NO ADDITIONAL FOOTING OR FOUNDATION SYSTEM IS REQUIRED BY THE PROPOSED CONSTRUCTION IF A MINIMUM 4" CONCRETE SLAB IS PROVIDED IN SOUND CONDITION, FREE FROM STRUCTURAL CRACKING, SPALLING & OTHER DETERIORATION.

SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE APPLICABLE TO THIS PROJECT:

- WHERE CONCRETE SPECIFICATIONS ARE REQUIRED, WHETHER IN THE SCREEN ENCLOSURE SCOPE OF NOT, BY ONE OR MORE REGULATORY AGENCY, THE FOLLOWING SPECIFICATIONS ARE APPLICABLE:
 - CONCRETE SHALL CONFORM TO ASTM C94 FOR THE FOLLOWING COMPONENTS:
 - PORTLAND CEMENT TYPE 1 - ASTM C 150
 - AGGREGATES - LARGE AGGREGATE 3/4 MAX. - ASTM C 33
 - AIR ENTRAINING +/- 1 % - ASTM C 260
 - WATER REDUCING AGENT - ASTM C 494
 - CLEAN PORTABLE WATER
 - OTHER ADMIXTURES NOT PERMITTED
 - METAL ACCESSORIES SHALL CONFORM TO:
 - REINFORCING BARS - ASTM A615, GRADE 60
 - WELDED WIRE FABRIC - ASTM A185
 - CONCRETE SLUMP AT DISCHARGE CHUTE NOT LESS THAN 3" OR MORE THAN 5". WATER ADDED AFTER BATCHING IS NOT PERMITTED.
 - PREPARE & PLACE CONCRETE PER AMERICAN CONCRETE INSTITUTE MANUAL OF STANDARD PRACTICE, PART 1, 2, & 3 INCLUDING HOT WHEATHER RECOMMENDATIONS.
 - MOIST CURE OR POLYETHYLENE CURING PERMITTED.
 - PRIOR TO PLACING CONCRETE, TREAT THE ENTIRE SUBSURFACE ARE FOR TERMITES IN COMPLIANCE WITH THE FBC.
 - CONCRETE SHALL BE PLACED OVER A POLYETHYLENE VAPOR BARRIER.
- WHEN PAVERS ARE UNDER ALUMINUM MEMBERS, CONTRACTOR SHALL EPOXY TO DECK OR GROUT TO DECK w/3000 PSI GROUT WITH BONDING AGENT
- WHEN APPLICABLE FOR NEW SLAB ADDITION TO ADJACENT DRILL & EPOXY #5 X 8" REBAR INTO EX. FOUNDATION WITH 1" MIN. HOLE, EMBED 4" MIN W/ NON-SHRINKING SIMPSON EPOXY-TIE (OR EQUAL) 48" O.C. TYP. ALL LOCATIONS
- WHEN APPLICABLE FOR NEW FOOTER TO EXISTING, DRILL & EPOXY NEW STEEL INTO EX. FOUNDATION WITH 1" MIN. HOLE, EMBED 6" MIN W/ NON-SHRINKING SIMPSON EPOXY-TIE (OR EQUAL) TYP. ALL LOCATIONS
- MINIMUM CONCRETE STRENGTH 3000 PSI UNLESS OTHERWISE NOTED.

ALUMINUM SPECIFICATIONS

- ALUMINUM EXTRUSIONS SHALL BE 6005 T5 ALLOY UNLESS OTHERWISE NOTED.
- ALL SELF MATING BEAM SECTIONS ARE TO BE STITCHED WITH #12 SCREWS 6" FROM ENDS & 24" CENTER TO CENTER.
- ROOF BRACING SHALL BE A MINIMUM 2"x2"x.050".
- THE MINIMUM NORMAL THICKNESS OF PROTECTOR PANELS (KICKPLATES) SHALL BE AN INDUSTRY STANDARD OF 0.024 INCHES.
- VINYL AND ACRYLIC PANELS SHALL BE REMOVED WHEN WIND SPEEDS EXCEED 75 MPH PER FBC.
- SCREEN MATERIAL SHALL BE 18/14 SCREEN UNLESS APPROVED BY FLORIDA ENGINEERING LLC.
- 1"x2" & 1"x3" NON STRUCTURAL MEMBERS MAY BE USED INTERCHANGEABLY.

FASTENER SPECIFICATIONS

- FASTENERS ARE REQUIRED TO BE SAE GRADE 2 OR BETTER ZINC PLATED. (CONCRETE ANCHORS ARE TO BE TAPCONS OR BETTER, INSTALLED TO MFG. SPECIFICATIONS)
- IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SCREENS, FASTENERS AND SCREENS TO MANUFACTURING SPECIFICATIONS.
- WHERE WOOD DECK IS PRESENT USE 1/4" X 3-1/2" GALV. LAG SCREWS IN LIEU OF MASONRY ANCHORS. UNLESS OTHERWISE SPECIFIED.
- 1"x2" NON STRUCTURAL MEMBERS ATTACHED TO HOST
 - FOR MASONRY/CONCRETE APPLICATION USE GALVANIZED 1/4" X 2-3/4" TAPCONS OR EQUAL AT 24" O.C. AND 6" FROM ENDS
 - FOR WOOD APPLICATION USE #14 X 2-3/4" WOOD SCREW AT 24" O.C. AND 6" FROM ENDS.
 - FOR ALUMINUM APPLICATION USE #10 X 1-1/2" SMS OR TEK SCREW AT 24" O.C. AND 6" FROM ENDS
 - WHERE 1"x2" INSTALLED THROUGHOUT AN "OPEN VIEW" SPACING SHALL BE REDUCED TO 18" O.C. AND 6" FROM ENDS

MASONRY SPECIFICATIONS

- CONCRETE MASONRY UNITS (CMU) SHALL BE STANDARD HOLLOW UNITS AND SHALL BE 1900 PSI MINIMUM BASED ON TYPE M OR S MORTAR.
- ALL MORTAR SHALL BE TYPE M OR S.
- ALL GROUT SHALL BE 2000 PSI MINIMUM AND HAVE MAXIMUM COARSE AGGREGATE SIZE OF 3/8".
- PROVIDE CLEAN-OUTS FOR REINFORCED CELLS CONTAINING REINFORCEMENT WHEN GROUT POUR EXCEEDS 5'-0" IN HEIGHT.

MISCELLANEOUS

- SCREENED ENCLOSURES CONTAINING SWIMMING POOLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF FBC R4501.17 RESIDENTIAL SWIMMING BARRIER REQUIREMENTS.
- ALUMINUM ADDITIONS ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME. IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPERATE 4TH WALL SUPPORT SYSTEM IS SO TO BE ENGINEERED SO THAT NO ADDITIONAL LOADING IS PLACED ON THE MANUFACTURED HOME.
- DOOR LOCATION MAY BE RELOCATED BY CONTRACTOR IN THE FIELD.
- WHERE PAVERS ARE UNDER ALUMINUM MEMBERS, CONTRACTOR SHALL EPOXY TO DECK OR GROUT TO DECK w/3000 PSI GROUT WITH BONDING AGENT.
- INTEGRITY OF EXISTING/ HOST STRUCTURE SHALL NOT BE COMPROMISED WITH THE ATTACHMENT OF THE PROPOSED STRUCTURE.
- ALL 2X4 & GREATER ARE TO BE 2 x 4 SMB: 2"x4"x0.044"x0.100" UNLESS OTHERWISE INDICATED.

RESPONSIBILITIES

- ALL SITE WORK SHALL BE PERFORMED BY A LISCENED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDANANCES, AND THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- FOR FASTENERS WHICH ARE NOT VISIBLE AFTER INSTALLATION, THE CONTRACTOR SHALL VERIFY AND ENSURE INSTALLATION HAS BEEN ACCOMPLISHED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH THE ATTACHED DETAILS.
- FOR "PICTURE WINDOW" MODIFICATION TO EXISTING SCREEN ENCLOSURES, ALL OTHER "EXISTING SCREEN ENCLOSURE" FEATURES ARE TO MEET THE TYPICAL DETAILS AS PROVIDED IN THESE DETAILS. CONTRACTOR IS TO VERIFY & ASSURE EXISTING SCREEN ENCLOSURE IS STRUCTUALLY SOUND.

ALUMINUM MEMBERS DIMENSIONS

- HOLLOW SECTIONS
 2 x 2: 2" x 2" x 0.050"
 2 x 3: 2" x 3" x 0.050"
 2 x 4: 2" x 4" x 0.050"
 2 x 5: 2" x 5" x 0.050"

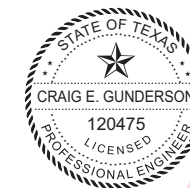
- OPEN BACK SECTIONS
 1 x 2: 1" x 2" x 0.044"
 1 x 3: 1" x 3" x 0.045"

- SNAP SECTIONS
 2 x 2 SNAP: 2" x 2" x 0.045"
 2 x 3 SNAP: 2" x 3" x 0.050"
 2 x 4 SNAP: 2" x 4" x 0.045"

- SELF MATING (SMB)
 2 x 4 SMB: 2" x 4" x 0.046" x 0.100"
 2 x 5 SMB: 2" x 5" x 0.050" x 0.116"
 2 x 6 SMB: 2" x 6" x 0.050" x 0.120"
 2 x 7 SMB: 2" x 7" x 0.055" x 0.120"
 2 x 8 SMB: 2" x 8" x 0.072" x 0.224"
 2 x 9 SMB: 2" x 9" x 0.072" x 0.224"
 2 x 9(H) SMB: 2" x 9" x 0.082" x 0.306"
 2 x 10 SMB: 2" x 10" x 0.092" x 0.374"

DETAIL A

SHEET NO.	DRAWING INDEX
S/01	GENERAL NOTES
S/02	STRUCTURAL PLAN
S/03	WOOD DECK PLAN
S/04	SUMMER KITCHEN
S/05	FOUNDATION PLAN
S/06	DETAILS
S/07	DETAILS



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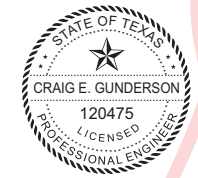
PROJECT NO. 23096142-2

CA CERT. #F-17425

Craig E. Gunderson, 120475
 DATE:

CONTRACTOR: SELAH POOLS LLC 500 GRAPEVINE HWY STE 118 HURST TX 76054		PROJECT ADDRESS: LAMB 309 NORTH BROADWAY, AZLE TX 76020	
DESIGN DATE:	04/11/2023		
REVISION 1:	05/23/2023		
REVISION 2:	DATE	SHEET:	
DRAWN BY:	RJ	16 of 19	
SCALE:			

RENAISSANCE CLASSICO EXPOSED BEAM PATIO COVER
HD POST & BEAM SYSTEM
PROJECTION BEAM = 2"X6"X0.060" MAIN BEAM = 2.75"X7"X0.125" POST = 3.875"X3.875"X0.188"
SEE SECTION DETAILS ON PAGES SHT 04



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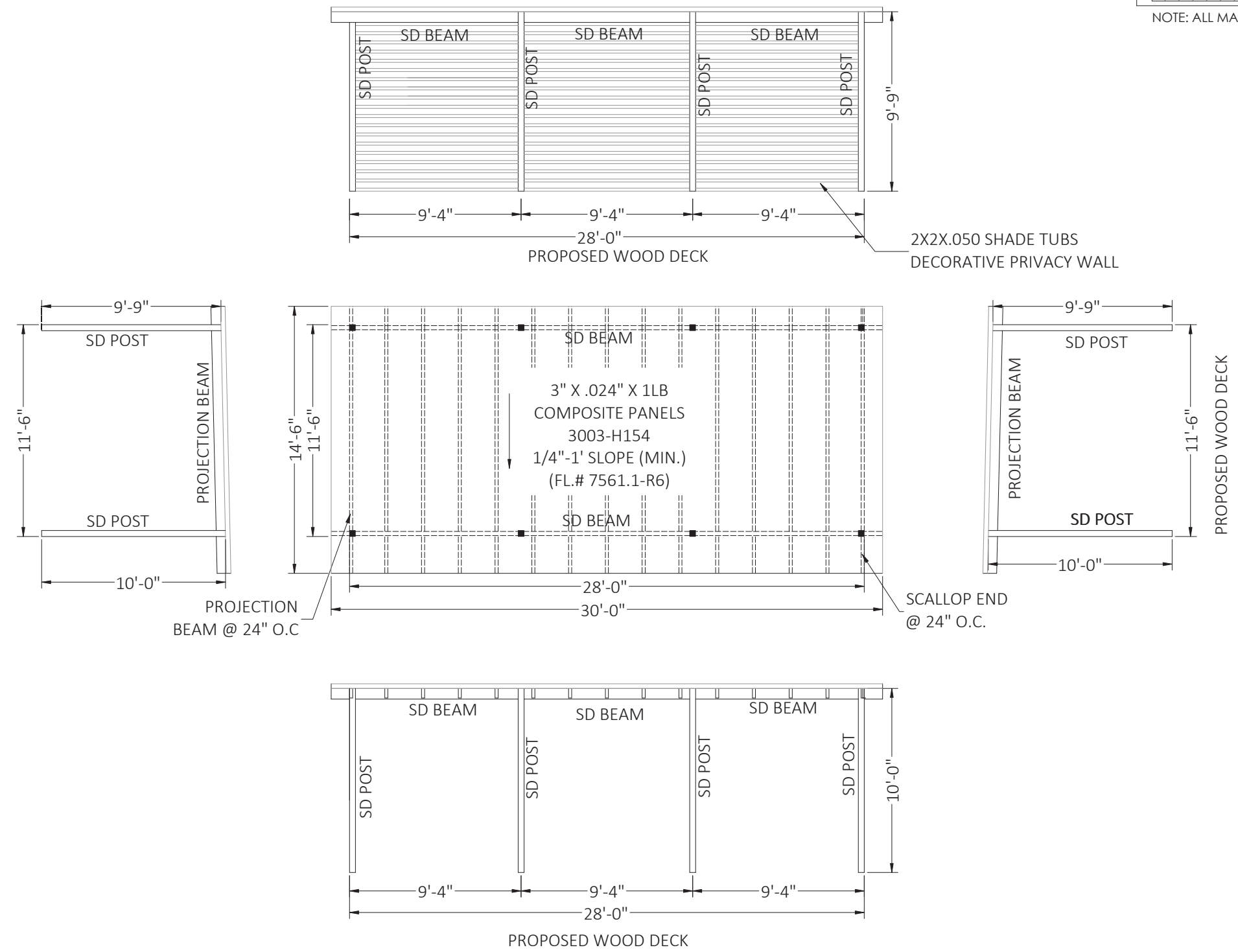
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HATCH/ SYMBOL LEGEND

HATCH	INDICATES
	EXIST. STRUCTURE

NOTE: ALL MAY NOT APPLY



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CA CERT. #F-17425

CONTRACTOR:
SELAH POOLS LLC
500 GRAPEVINE HWY STE 118
HURST TX 76054

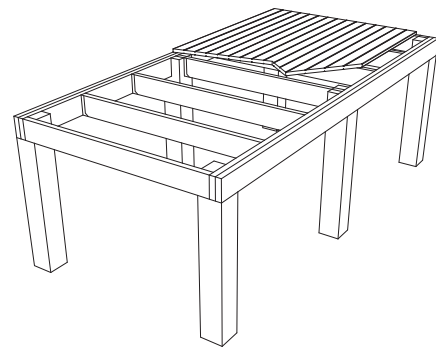
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LAMB
309 NORTH BROADWAY,
AZLE TX 76020

DESIGN DATE:	04/11/2023
REVISION 1:	05/23/2023
REVISION 2:	DATE
DRAWN BY:	RJ
SCALE:	1/8" = 1'-0"

- APPLICABLE LOADS:
- GUARDRAILS AND HANDRAILS
 - LINEAR LOAD: 50 PLF
 - CONCENTRATED LOAD: 200 LBF
 - INTERMEDIATE RAILS
 - CONCENTRATED LOAD: 50 LBF
 - WOOD DECK LOADS
 - LIVE LOAD: 40 PSF
 - DEAD LOAD: 10 PSF

WOOD DECK NOTE:

- ATTACH JOIST TO BEAM WITH HURRICANE CLIPS (SIMPSON STRONG TIE H2.5A OR EQUIV) ON BOTH SIDES
- DOUBLE 2X BEAMS SITTING ON NOTCHED POSTS (SIDE ATTACHMENT WITH THRU BOLTS NOT ALLOWED)
- PT POST INSERTED INTO ISOLATED FOOTING. MAINTAIN MIN.3" CONCRETE COVER BETWEEN BOTTOM OF POST AND SOIL. INSERT NO.5 REBAR 6" FROM BOTTOM OF CONCRETE.
- "ALTERNATE" POST CONNECTION FOR EXISTING CONCRETE: CONNECT POST TO CONCRETE USING SIMPSON STRONG TIE RETROFIT POST BASE RPBZ OR EQUIVALENT.
- WOOD DECK TO BE BUILT IN ACCORDANCE WITH AWC STANDARDS.
- ALL WOOD MUST BE PRESSURE-TREATED GRADE NO. 2 SOUTHERN YELLOW PINE
- ALL PRE APPROVED SIMPSON STRONG TIE OR SIMILAR MUST BE FASTEN PER MANUFACTURER INSTALLATION INSTRUCTIONS AND SPECIFICATIONS
- FOR WOOD DECK BUILD IN FLOOD ZONE, WOODEN DECK MUST BE CONSTRUCTED WITH FLOOD RESISTANT MATERIALS.
- ALL NAILS SHALL MEET THE REQUIREMENTS OF ASTM F 1667. THREADED NAILS AS STATED IN THIS DOCUMENT INCLUDE HELICAL (SPIRAL) AND ANNULAR (RING-SHANK) NAILS. WOOD SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B18.6.1. BOLTS AND LAG SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B18.2.1.
- WOOD DECKS ARE NOT DESIGNED FOR LOADS CREATED BY POOLS, BATHTUBS, SAUNAS ETC UNLESS OTHERWISE NOTED.
- TO RESIST CORROSION, THE FOLLOWING IS REQUIRED
 - ALL SCREWS, BOLTS, WASHERS, NUTS, AND NAILS FOR USE WITH PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. HOT-DIPPED GALVANIZED FASTENERS SHALL MEET THE REQUIREMENTS OF ASTM A 153, STANDARD SPECIFICATION FOR ZINC COATING
 - (HOT-DIP) ON IRON AND STEEL HARDWARE, CLASS D FOR FASTENERS 3/8" DIAMETER AND SMALLER OR CLASS C FOR FASTENERS WITH DIAMETERS OVER 3/8".
 - FASTENERS OTHER THAN NAILS AND TIMBER RIVETS SHALL BE PERMITTED TO BE OF MECHANICALLY DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B 695, CLASS 55, MINIMUM.
 - ALL CONNECTORS (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED OR SHALL BE STAINLESS STEEL. HARDWARE TO BE HOT-DIPPED PRIOR TO FABRICATION SHALL MEET ASTM A 653, STANDARD SPECIFICATION FOR STEEL SHEET, ZINC-COATED
 - (GALVANIZED) OR ZINC-IRON ALLOY-COATED
 - (GALVANNEALED) BY THE HOT-DIP PROCESS, G-185 COATING. HARDWARE TO BE HOT-DIPPED GALVANIZED AFTER FABRICATION SHALL MEET ASTM A 123, SPECIFICATION FOR ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS.
 - FASTENERS AND CONNECTORS EXPOSED TO SALT WATER OR LOCATED WITHIN 300 FEET OF A SALT WATER SHORELINE SHALL BE STAINLESS STEEL GRADE 304 OR 316.
 - FASTENERS AND CONNECTORS SHALL BE OF THE SAME CORROSION-RESISTANT MATERIAL.
 - OTHER COATED OR NON-FERROUS FASTENERS OR HARDWARE SHALL BE AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.

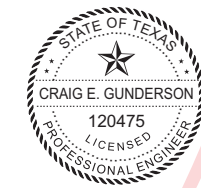


RENDERING IS NOT TO SCALE & IS JUST A GENERALIZED DEPICTION OF THE TYPE OF STRUCTURE PROPOSED

PROPOSED WOOD DECK

WOOD SPECIFICATIONS

- ALL MEMBERS TO BE SOUTHERN YELLOW PINE (SYP.) GRADE NO. 2
- ALL MEMBERS/ CONNECTORS INSTALLED BELOW BASE FLOOD ELEVATION (B.F.E.) TO BE CONSTRUCTED WITH FLOOD RESISTANT MEMEBRS/CONNECTORS PRESSURE TREATED WOOD (P.T.) & GALVANIZED CONNECTORS.
- ALL PRE-APPROVED SIMPSON STRONG TIE OR SIMILAR MUST BE INSTALLED PER MANUFACTURER INSTALLATION INSTRUCTIONS & SPECIFICATIONS.



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Page 18 of 20

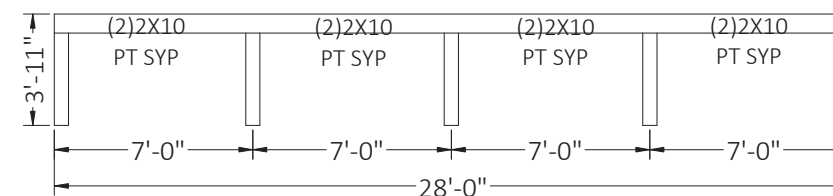
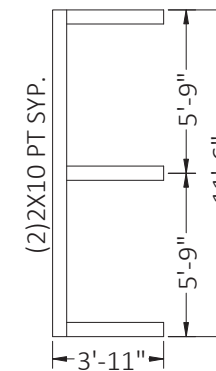
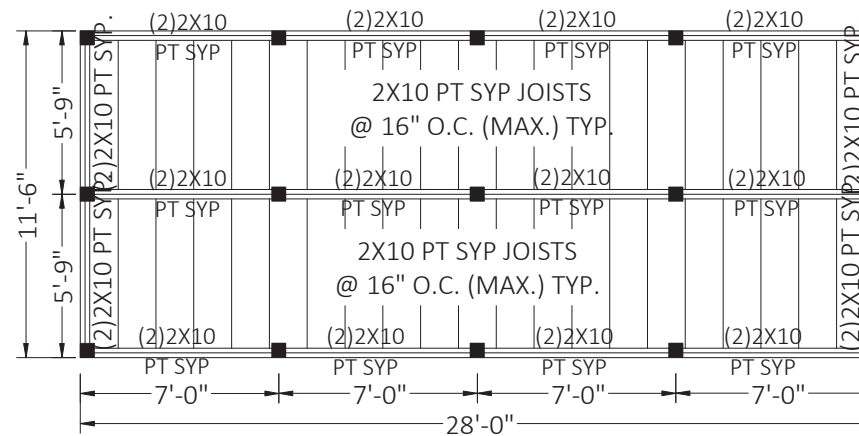
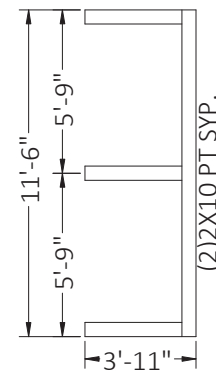
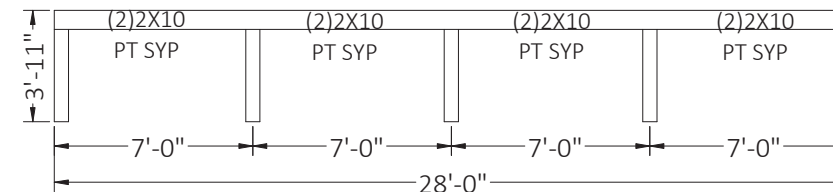
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HATCH	INDICATES
	EXIST. STRUCTURE

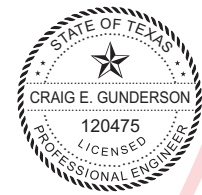
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■ =6X6 PT SYP TYP.



6X6 PT SYP TYP.

WOOD DECK LAYOUT PLAN
SCALE : N.T.S.



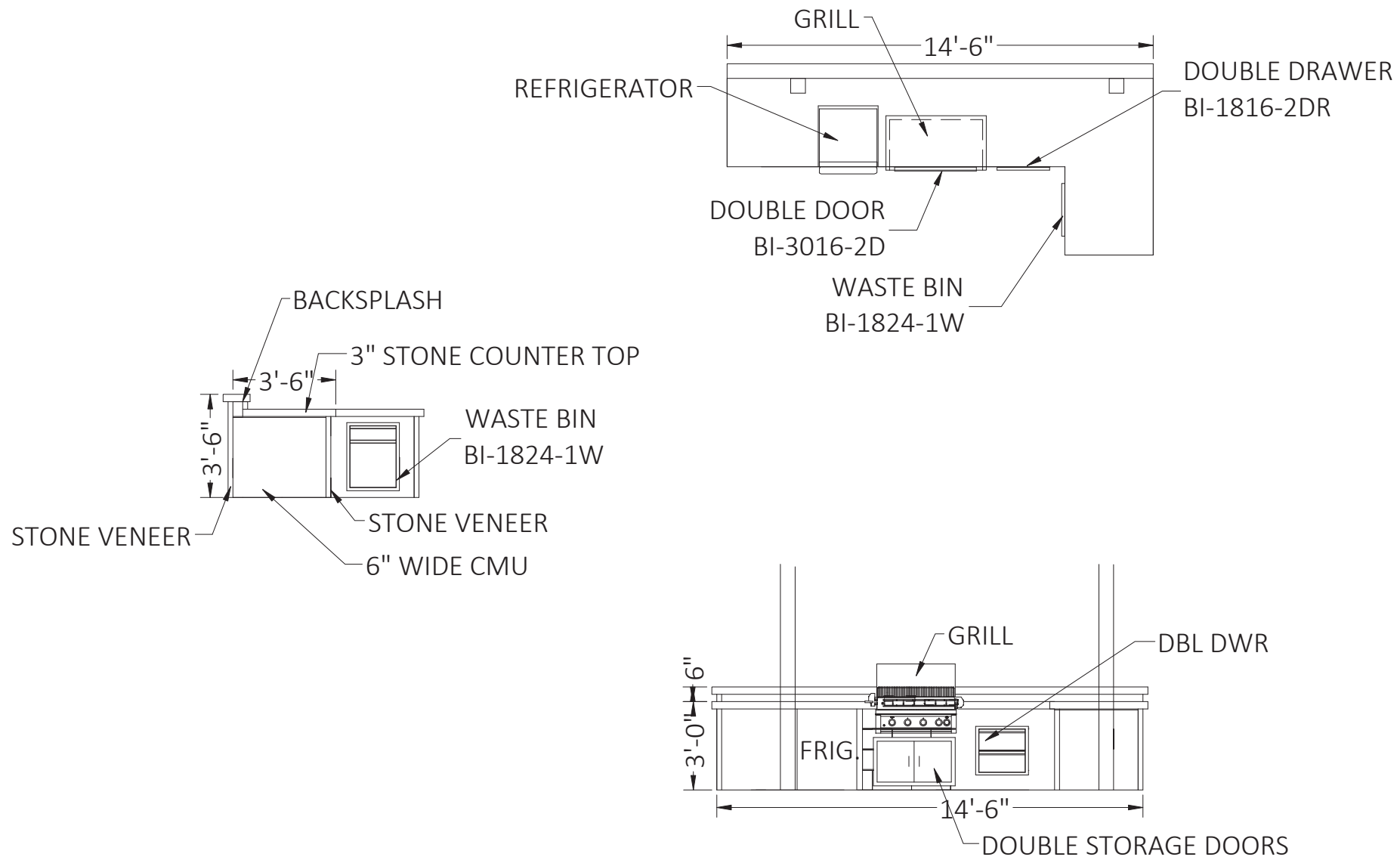
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DATE:

KITCHEN EXHAUST VENT TO MEET
FBC RESIDENTIAL TABLE M1507.4
AND PRODUCE 100 CFM INTERMITTENT
OR 25 CFM CONTINUOUS.



SUMMER KITCHEN N.T.S

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REVISION 1: 05/23/2023

REVISION 2: DATE SHEET:

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SCALE: Page 19 of 20

FOUNDATION DESIGN

(15) PROPOSED 24"X24"X24" ISOLATED FOOTERS
W/ (3) #5 REBAR EACH WAY 3000 PSI W/ FIBERMESH

SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE APPLICABLE TO THIS PROJECT:

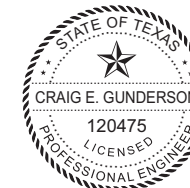
1. WHERE CONCRETE SPECIFICATIONS ARE REQUIRED, WHETHER IN THE SCREEN ENCLOSURE SCOPE OR NOT, BY ONE OR MORE REGULATORY AGENCY, THE FOLLOWING SPECIFICATIONS ARE APPLICABLE:
 - a. CONCRETE SHALL CONFORM TO ASTM C94 FOR THE FOLLOWING COMPONENTS:
 - i. PORTLAND CEMENT TYPE 1 - ASTM C 150
 - ii. AGGREGATES - LARGE AGGREGATE 3/4 MAX. - ASTM C 33
 - iii. AIR ENTRAINING +/- 1 % - ASTM C 260
 - iv. WATER REDUCING AGENT - ASTM C 494
 - v. CLEAN POTABLE WATER
 - vi. OTHER ADMIXTURES NOT PERMITTED
 - b. METAL ACCESSORIES SHALL CONFORM TO:
 - i. REINFORCING BARS - ASTM A615, GRADE 60
 - ii. WELDED WIRE FABRIC - ASTM A185
 - c. CONCRETE SLUMP AT DISCHARGE CHUTE NOT LESS THAN 3" OR MORE THAN 5". WATER ADDED AFTER BATCHING IS NOT PERMITTED.
 - d. PREPARE & PLACE CONCRETE PER AMERICAN CONCRETE INSTITUTE MANUAL OF STANDARD PRACTICE, PART 1, 2, & 3 INCLUDING HOT WEATHER RECOMMENDATIONS.
 - e. MOIST CURE OR POLYETHYLENE CURING PERMITTED.
 - f. PRIOR TO PLACING CONCRETE, TREAT THE ENTIRE SUBSURFACE AREA FOR TERMITES IN COMPLIANCE WITH THE FBC. FOR RISK CATEGORY II, III, & IV STRUCTURES ONLY.
 - g. CONCRETE SLAB SHALL BE PLACED OVER A POLYETHYLENE VAPOR BARRIER. (SLAB ONLY)
2. WHEN PAVERS ARE UNDER ALUMINUM MEMBERS, CONTRACTOR SHALL EPOXY TO DECK OR GROUT TO DECK w/3000 PSI GROUT WITH BONDING AGENT
3. WHEN APPLICABLE FOR NEW SLAB ADDITION TO ADJACENT DRILL & EPOXY #4 X 8" REBAR INTO EX. FOUNDATION EMBED 4" MIN W/ NON-SHRINKING SIMPSON EPOXY-TIE (OR EQUAL) 48" O.C. TYP. ALL LOCATIONS
4. WHEN APPLICABLE FOR NEW FOOTER TO EXISTING, DRILL & EPOXY NEW STEEL INTO EX. FOUNDATION WITH EMBED 6" MIN W/ NON-SHRINKING SIMPSON EPOXY-TIE (OR EQUAL) TYP. ALL LOCATIONS
5. WHERE PAVERS ARE UNDER ALUMINUM MEMBERS, CONTRACTOR SHALL EPOXY TO DECK OR GROUT TO DECK w/3000 PSI GROUT WITH BONDING AGENT.
6. MINIMUM CONCRETE STRENGTH 3000 PSI UNLESS OTHERWISE NOTED.

MASONRY SPECIFICATIONS

1. CONCRETE MASONRY UNITS (CMU) SHALL BE STANDARD HOLLOW UNITS AND SHALL BE 1900 PSI MINIMUM BASED ON TYPE M OR S MORTAR.
2. ALL MORTAR SHALL BE TYPE M OR S.
3. ALL GROUT SHALL BE 2000 PSI MINIMUM AND HAVE MAXIMUM COARSE AGGREGATE SIZE OF 3/8".
4. PROVIDE CLEAN-OUTS FOR REINFORCED CELLS CONTAINING REINFORCEMENT WHEN GROUT POUR EXCEEDS 5'-0" IN HEIGHT.

FOOTING NOTES

1. PROVIDE 1-1/2" COVERAGE TOP, SIDES, BOTTOM AND 1" BETWEEN ADJACENT REBAR LAPS.
2. PROVIDE MIN. 3" COVERAGE OF REBAR FOR ALL CONCRETE IN CONTACT WITH THE EARTH.
3. FOOTING CONCRETE SHALL BE MIN. 3000 PSI AT 28 DAYS
4. FOOTING REINFORCEMENT SHALL BE MIN. GRADE 60
5. PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE TO CITY / CO. REQUIREMENTS
6. PROVIDE 2500 PSF BEARING (TYPICAL) UNDER FOUNDATION
7. SEE GENERAL NOTES ABOVE FOR TYING INTO EXISTING FOUNDATIONS
8. SEE GENERAL NOTES ABOVE FOR ADDITIONAL CONCRETE INFORMATION & SPECS.



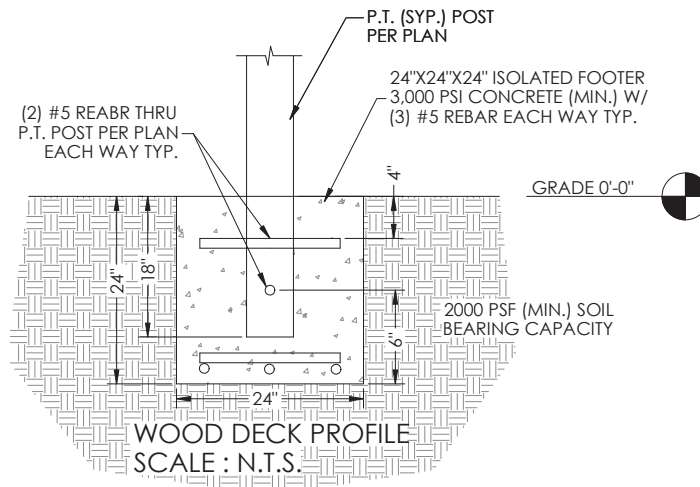
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Craig E. Gunderson, 120475

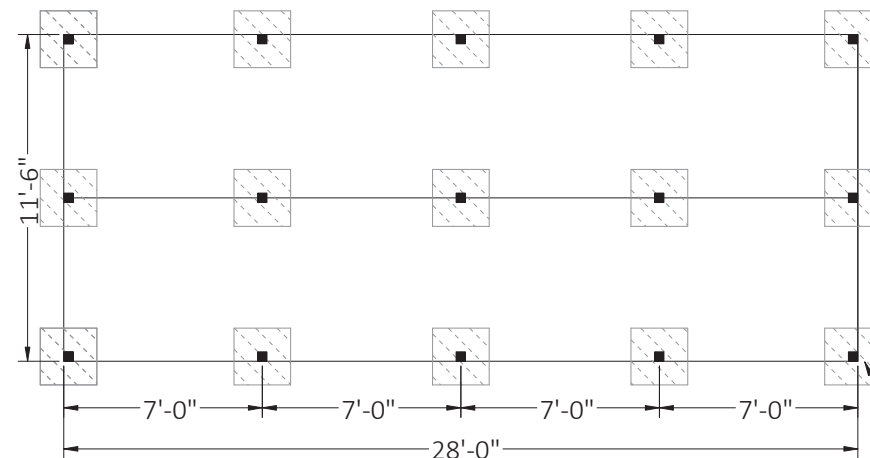
DATE:



CONCRETE LEGEND

HATCH	INDICATES
	HOST/ EXIST.
	NEW FOOTING
	NEW SLAB AREA

NOTE: ALL MAY NOT APPLY



FOUNDATION PLAN : NTS

LIGHTNING ENGINEERING LLC

4161 TAMAMI TRAIL, UNIT 101
PORT CHARLOTTE, FLORIDA 33952
(941) 391-5980
www.lightningengineer.com



PROJECT NO. 23096142-2

CA CERT. #F-17425

CONTRACTOR:

SELAH POOLS LLC
500 GRAPEVINE HWY STE 118
HURST TX 76054

PROJECT ADDRESS:

LAMB
309 NORTH BROADWAY,
AZLE TX 76020

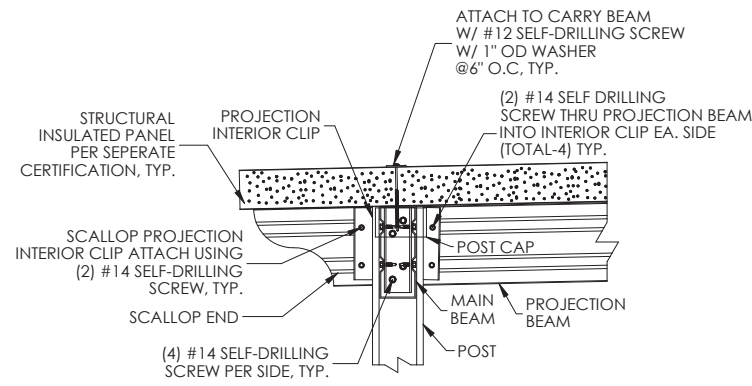
DESIGN DATE: 04/11/2023

REVISION 1: 05/23/2023

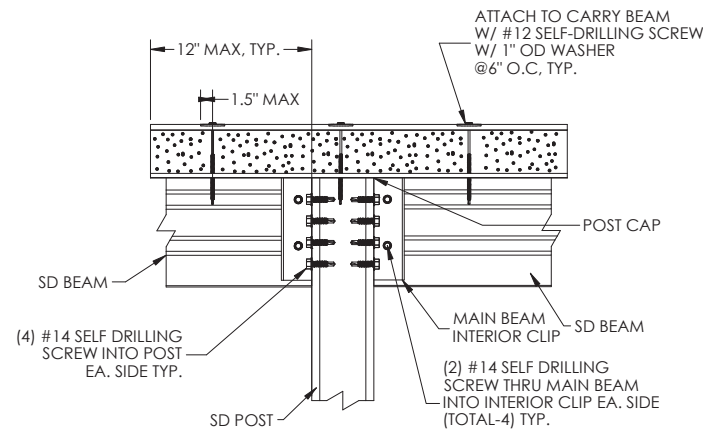
REVISION 2: DATE SHEET:

DRAWN BY: RJ

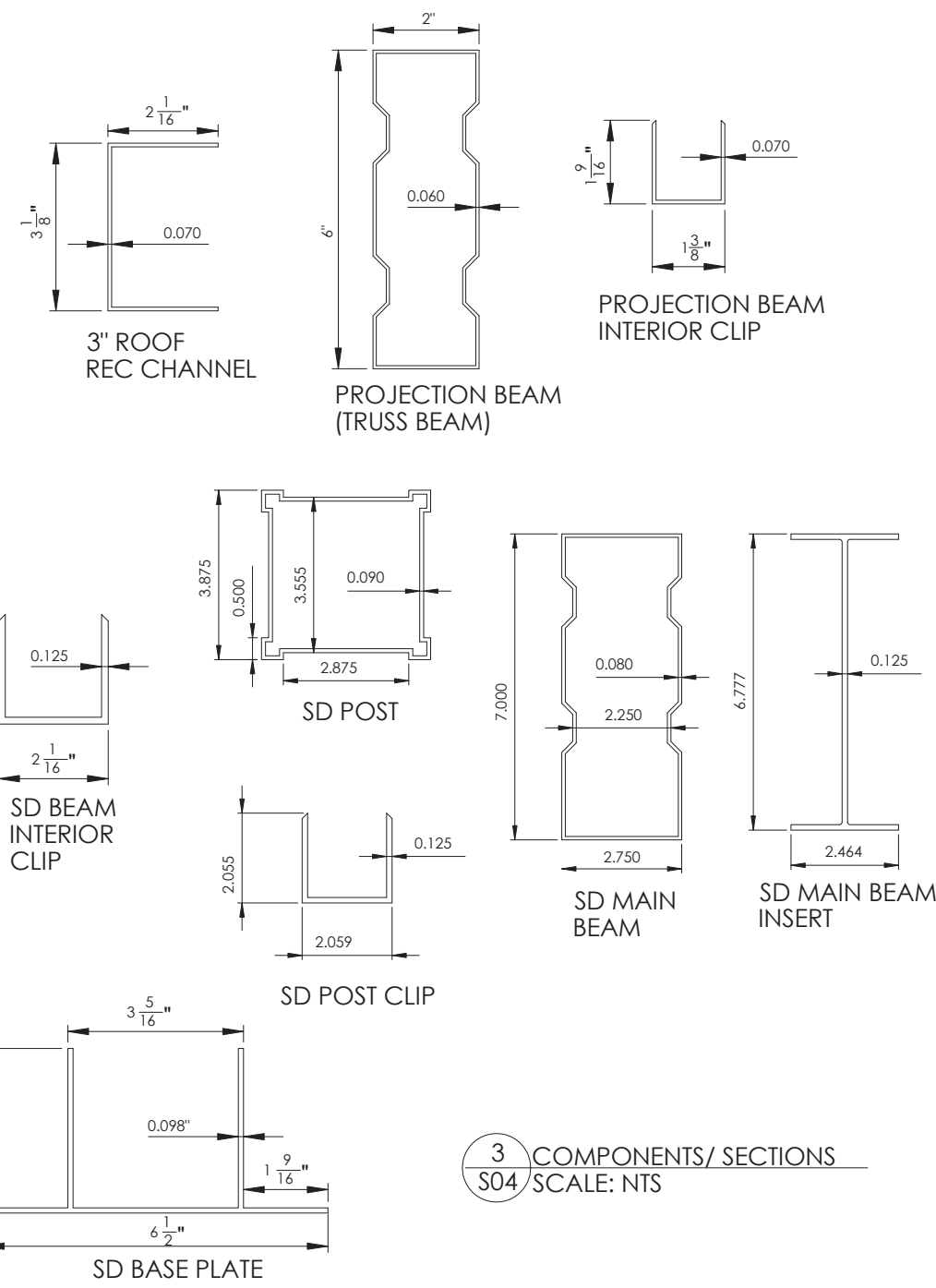
SCALE: Page 20 of 29



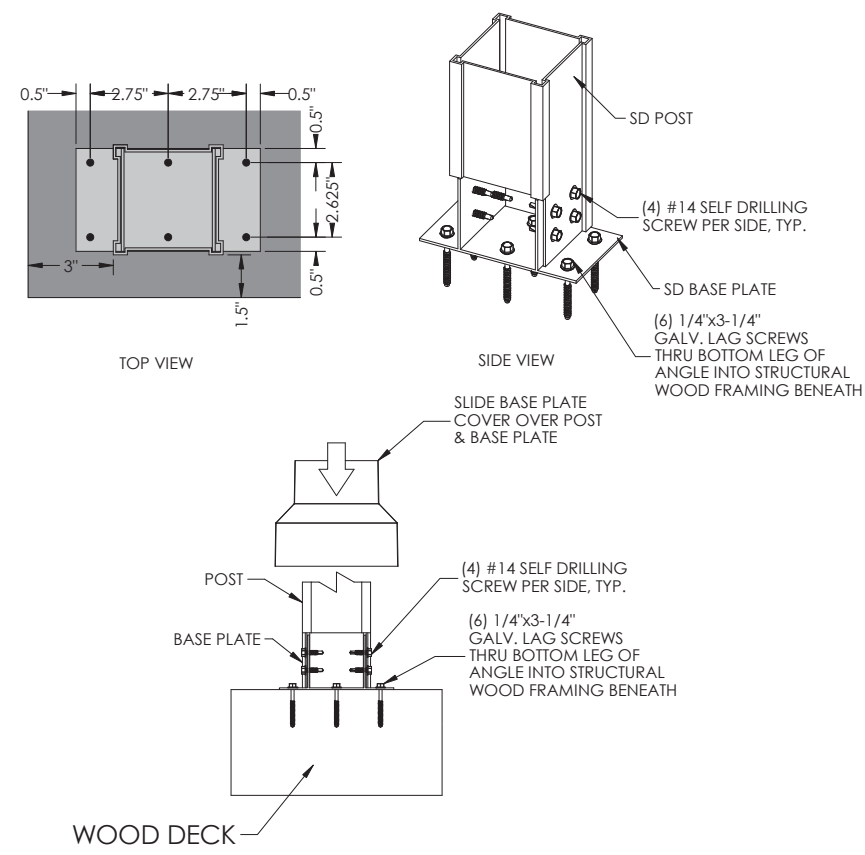
1
S04 TRELLIS/ PROJECTION & POST CONNECTION SCALE: NTS



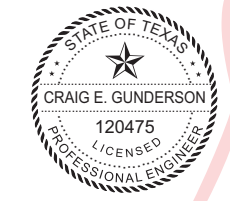
2
S04 SD BEAM TO POST CONNECTION SCALE: NTS



3
S04 COMPONENTS/ SECTIONS SCALE: NTS



4
S04 SD POST LAGS CONNECTION SCALE: NTS



Digitally signed by Craig E Gunderson
Date: 2023.07.14 15:46:05 -04'00'

This item has been digitally signed and sealed by Craig E. Gunderson, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on electronic copies.

LIGHTNING ENGINEERING LLC
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PROJECT NO. 23096142-2

CONTRACTOR:
SELAH POOLS LLC
500 GRAPEVINE HWY STE 118
HURST TX 76054

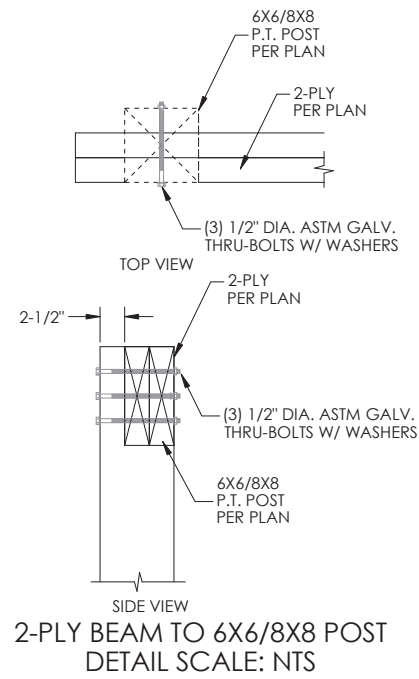
PROJECT ADDRESS:
LAMB
309 NORTH BROADWAY,
AZLE TX 76020

DESIGN DATE: 04/11/2023
REVISION 1: 05/23/2023
REVISION 2: DATE SHEET:
DRAWN BY: RJ
SCALE: 1/8\"/>

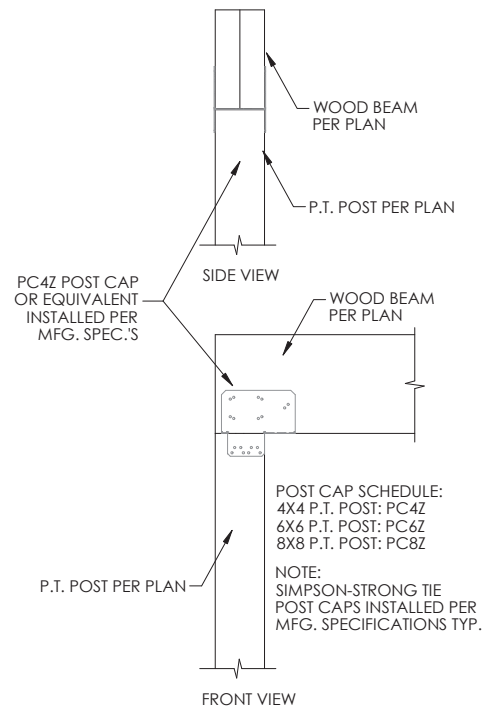
SYSTEM NOTES:
PERGOLA SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION ISSUED BY RENAISSANCE PATIO. (REFER TO AFOREMENTIONED MANUFACTURER ISSUED ASSEMBLY MANUAL FOR ALL CONNECTION DETAILS THAT ARE NOT ILLUSTRATED HEREIN)

Craig E. Gunderson, 120475
DATE:

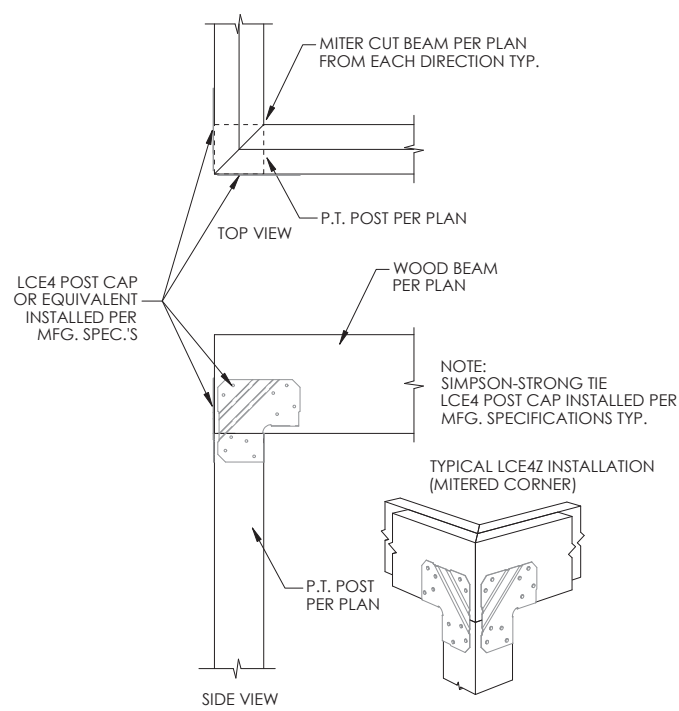
CA CERT. #F-17425



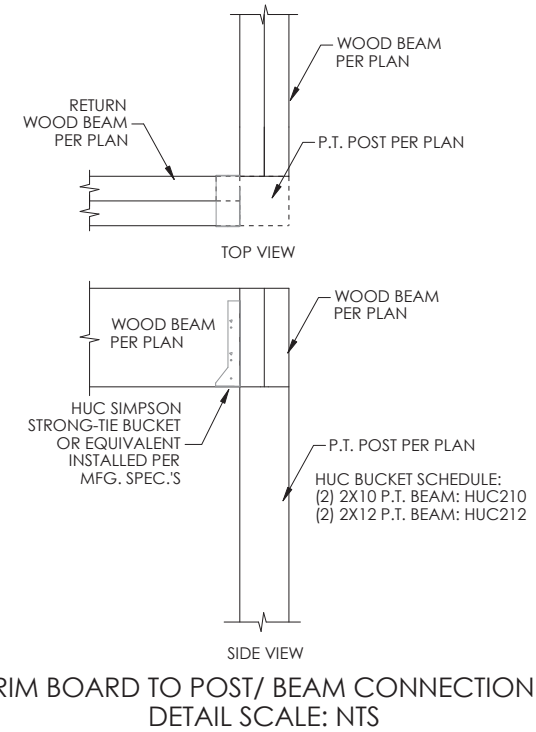
2-PLY BEAM TO 6X6/8X8 POST
DETAIL SCALE: NTS



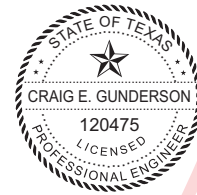
BEAM TO POST OPTION #1
DETAIL SCALE: NTS



BEAM TO POST OPTION #2
DETAIL SCALE: NTS



RIM BOARD TO POST/ BEAM CONNECTION
DETAIL SCALE: NTS



Digitally signed
by Craig E
Gunderson
Date:
2023.07.14
15:46:10 -04'00'

This item has been digitally signed and sealed by Craig E. Gunderson, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on electronic copies.

Craig E. Gunderson, 120475

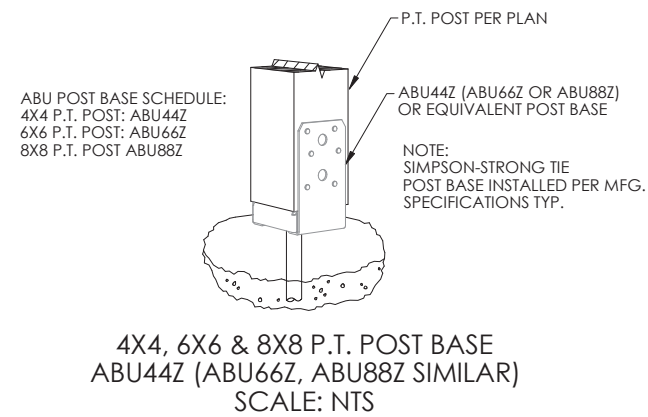
DATE:

CA CERT. #F-17425

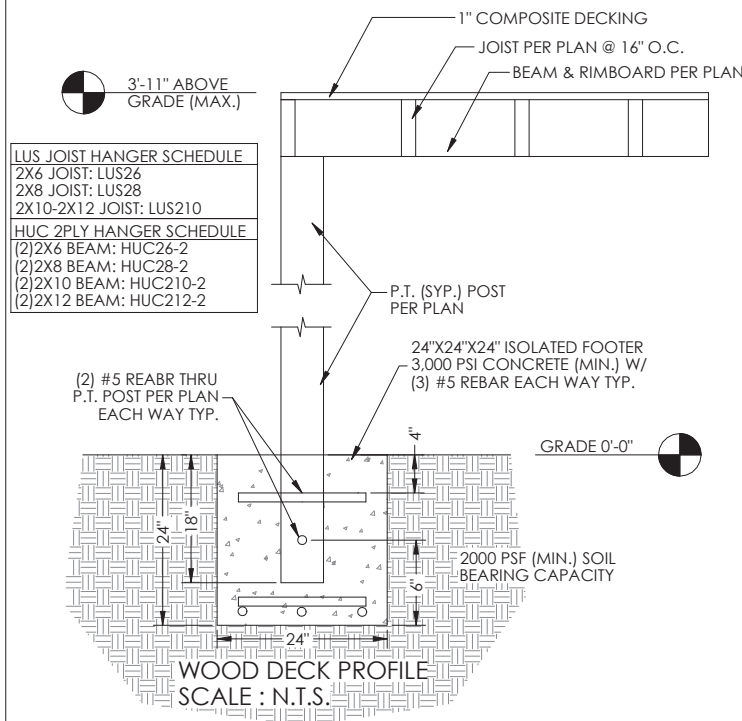
LIGHTNING ENGINEERING LLC
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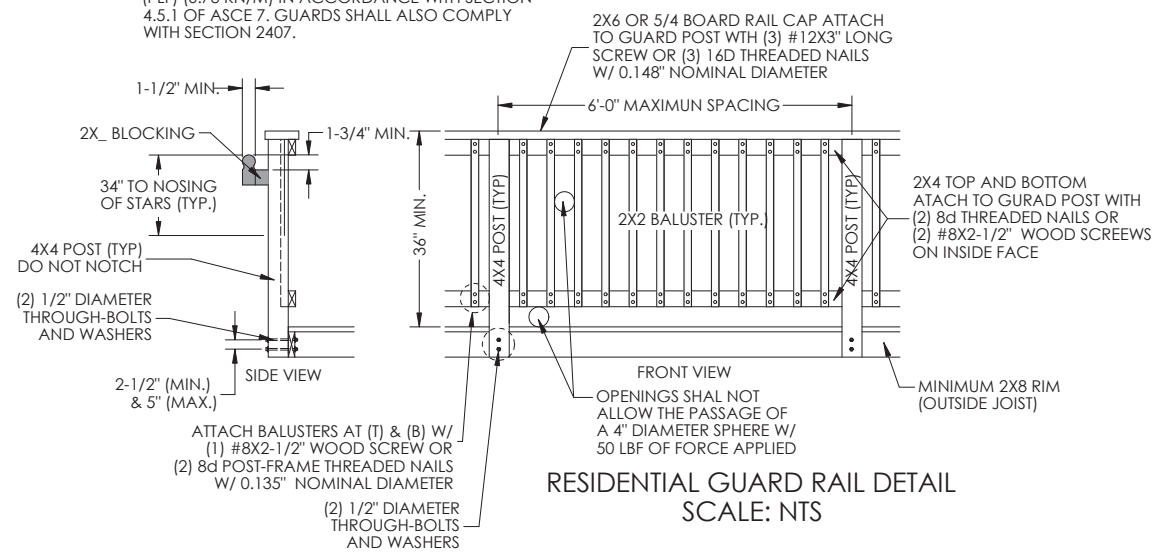
4X4, 6X6 & 8X8 P.T. POST BASE
ABU44Z (ABU66Z, ABU88Z SIMILAR)
SCALE: NTS



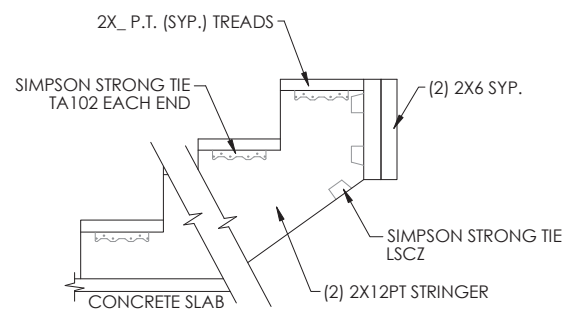
WOOD DECK PROFILE
SCALE: N.T.S.

GRASPABLE HANDRAIL NOTE:
THE HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAIL SHALL BE GRASPABLE AND SHALL BE COMPOSED OF DECAY-RESISTANT AND/OR CORROSION RESISTANT MATERIAL.

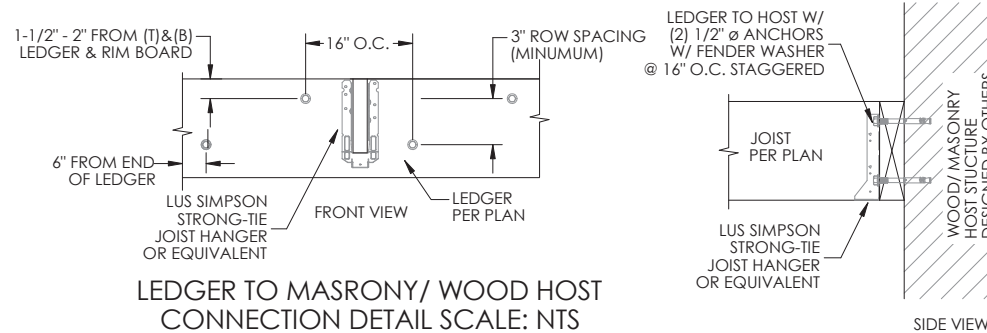
HANDRAILS AND GUARDS DESIGNED TO RESIST A LINEAR LOAD OF 50 POUNDS PER LINEAR FOOT (PLF) (0.73 KN/M) IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7. GUARDS SHALL ALSO COMPLY WITH SECTION 2407.



RESIDENTIAL GUARD RAIL DETAIL
SCALE: NTS



STAIR CONNECTION DETAIL
SCALE: NTS



LEDGER TO MASRONY/ WOOD HOST
CONNECTION DETAIL SCALE: NTS

LUS JOIST HANGER SCHEDULE	
2X6 JOIST:	LUS26
2X8 JOIST:	LUS28
2X10-2X12 JOIST:	LUS210

HUC 2PLY HANGER SCHEDULE	
(2) 2X6 BEAM:	HUC26-2
(2) 2X8 BEAM:	HUC28-2
(2) 2X10 BEAM:	HUC210-2
(2) 2X12 BEAM:	HUC212-2

1/2\"/>	
WOOD APPLICATION: 1/2\"/>	
MASONRY APPLICATION: 1/2\"/>	

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DESIGN DATE:	04/11/2023
REVISION 1:	05/23/2023
REVISION 2:	DATE
DRAWN BY:	RJ
SCALE:	1/8\"/>

WESTLAKE POINT HOMEOWNERS ASSOCIATION
N. BROADWAY RD.
AZLE, TEXAS

August 15, 2023

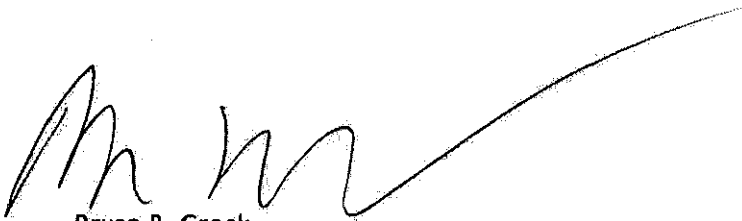
To whom it may concern at the City of Azle, Texas

Re: 309 N. Broadway Rd. – Pool Project Approval by the HOA

On April the 11th of this year, Mr. and Mrs. Lamb of 309 N Broadway Rd in Azle, Texas submitted to the eight (8) homes in our subdivision a vote for approval for a pool project. The request included a photo of the finished project along with the survey that was provided by Selah Pools.

Our HOA is informal as when we make an addition or permanent change to the outside of our properties, we submit a vote for a majority approval via email.

Through email votes, approval was given to proceed with this project with six (6) yes, one (1) no, and one (1) unanswered.



Bruce B. Greek
Secretary, Westlake Point HOA

Re: Submitted for approval for Lamb pool

From: Janie Rector

To:

Date: Tuesday, April 11, 2023 at 06:48 PM CDT

How exciting! Plans look great - good luck.
Janie

-----Original Message-----

From: Julie Lamb

To: Tom Brace

IK

Sent: Tue, Apr 11, 2023 2:42 pm

Subject: Submitted for approval for Lamb pool

Back in 2018, we submitted approval for home renovations that included a pool installation. We are now ready for that part of the remodel and have the details for approval. Selah Pools and Spas is our contractor and are in the process of obtaining permits from the city of Azle. If all goes as planned, the projected time of completion is around the end of July to mid August. We have enclosed pictures for your reference of what we are wanting to accomplish. If you have any questions or concerns, please ask. Please vote as a "reply all" so the vote is transparent.

Many thanks.

Vernon & Julie Lamb
309 N. Broadway Rd.

Re: Submitted for approval for Lamb pool

From: Martha York

To:

Cc:

Date: Tuesday, April 11, 2023 at 07:54 PM CDT

I have no problem with it.

Sent from my iPhone

On Apr 11, 2023, at 7:38 PM, Tom Brace

OK by us.

Sent from my iPhone

On Apr 11, 2023, at 7:07 PM, wrote:

We don't know. That's why we have to go through the permit process.

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone

----- Original message -----

From: Tom Brace

Date: 4/11/23 6:12 PM (GMT-06:00)

To: Julie Lamb

Cc:

Subject: Re: Submitted for approval for Lamb pool

Does the city require a fence around the pool?

Sent from my iPhone

Re: Submitted for approval for Lamb pool

From: Bruce Greek

To:

Cc:

Date: Friday, April 14, 2023 at 01:55 PM CDT

We vote yes as well

Get Outlook for iOS

From: Tiara

Sent: Friday, April 14, 2023 9:20:19 AM

To: Kelly Saylor

Subject: Re: Submitted for approval for Lamb pool

No.

Sent from my iPhone

On Apr 13, 2023, at 7:09 PM, Kelly Saylor < > wrote:

It's a yes for us.

On Thu, Apr 13, 2023, 5:37 AM vlamb wrote:

It's what's circled in this attachment

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone

----- Original message -----

From: Kelly Saylor

Date: 4/13/23 5:25 AM (GMT-06:00)

To: Julie Lamb

Cc: Tom Brace

Re: Submitted for approval for Lamb pool

From: Wesley Williams

To:

Cc:

Date: Friday, April 14, 2023, 1:09 PM CDT

After talking to Tiara and the Lambs we vote yes.

On Fri, Apr 14, 2023 at 9:20 AM Tiara

wrote:

No.

Sent from my iPhone

On Apr 13, 2023, at 7:09 PM, Kelly Saylor

wrote:

It's a yes for us.

On Thu, Apr 13, 2023, 5:37 AM vlamb

wrote:

It's what's circled in this attachment

Sent via the Samsung Galaxy Note20 Ultra 5G, an AT&T 5G smartphone

----- Original message -----

From: Kelly Saylor <

Date: 4/13/23 5:25 AM (GMT-06:00)

To: Julie Lamb

Cc:

Subject: Re: Submitted for approval for Lamb pool

Is it just the pool or the fire pit area/stairs and outdoor kitchen as well?

On Tue, Apr 11, 2023, 2:42 PM Julie Lamb

wrote:

Back in 2018, we submitted approval for home renovations that included a pool installation. We are now ready for that part of the remodel and have the details for approval. Selah Pools and Spas is our contractor and are in the process of obtaining permits from the city of Azle. If all goes as planned, the projected time of completion is around the end of July to mid August. We have

